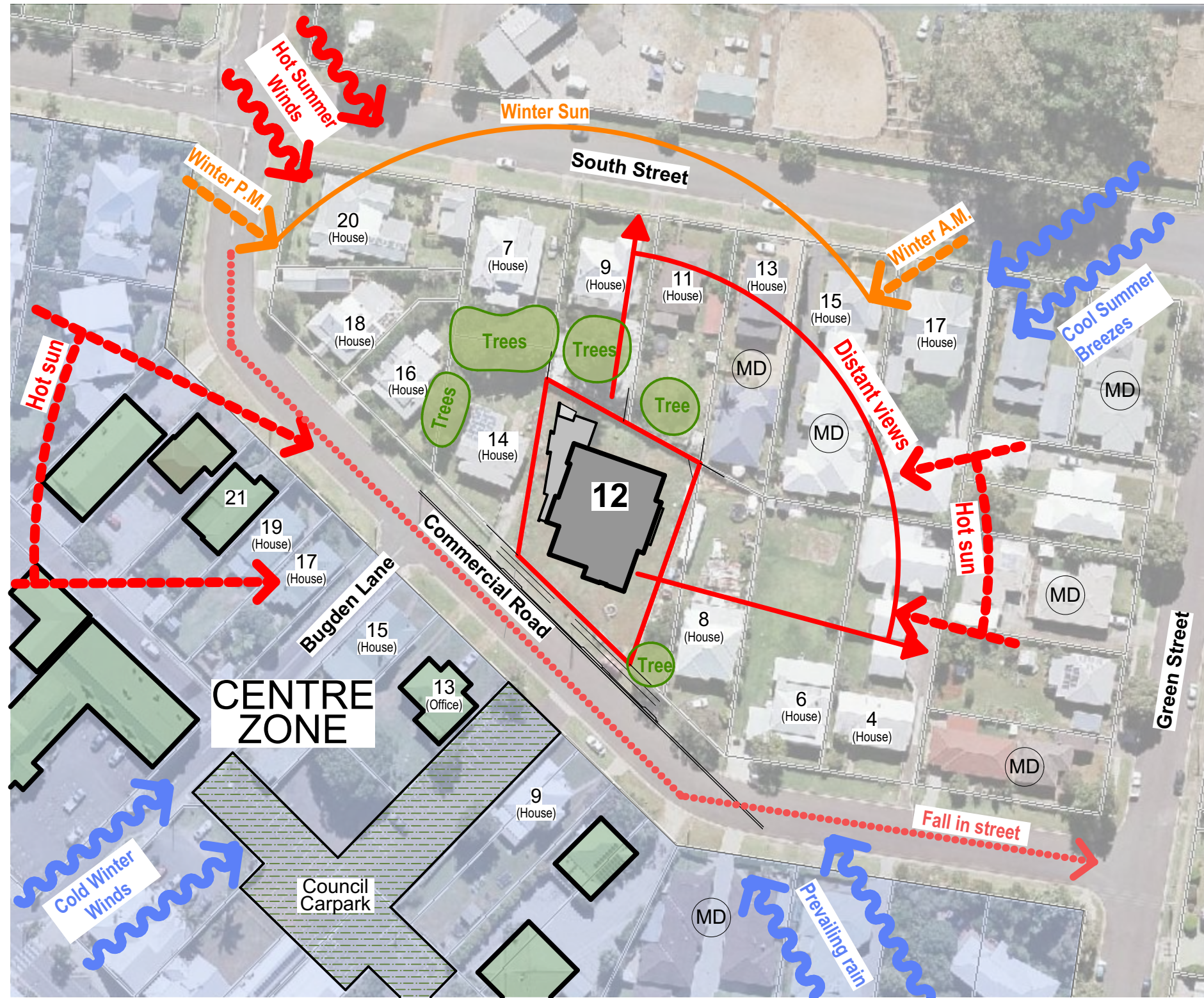


50
40
30
20
10
0
Scale 1:1000 @ A3

Legend

-  Commercial uses
-  Medium density



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Rev	Details
A	DA Issue
B	DA Issue RFI

Date
12/08/2024
10/03/2025

North Coast Surgical Suite

12 Commercial Road Alstonville
NSW 2477
North Coast Surgical Suite

armstrong&Co
Architects

e: theco@armstrongco.com.au
p: 0755 366 339
a: 2/ 52 Griffith St, QLD
andrew armstrong q 2814 n6321
www.armstrongco.com.au

Dwg:

2_B

Title:
**Context Plan &
Site Analysis**

Job#: **258AL01**

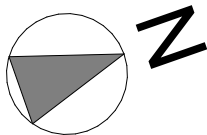
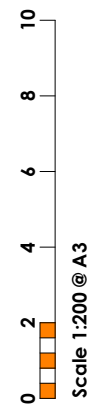
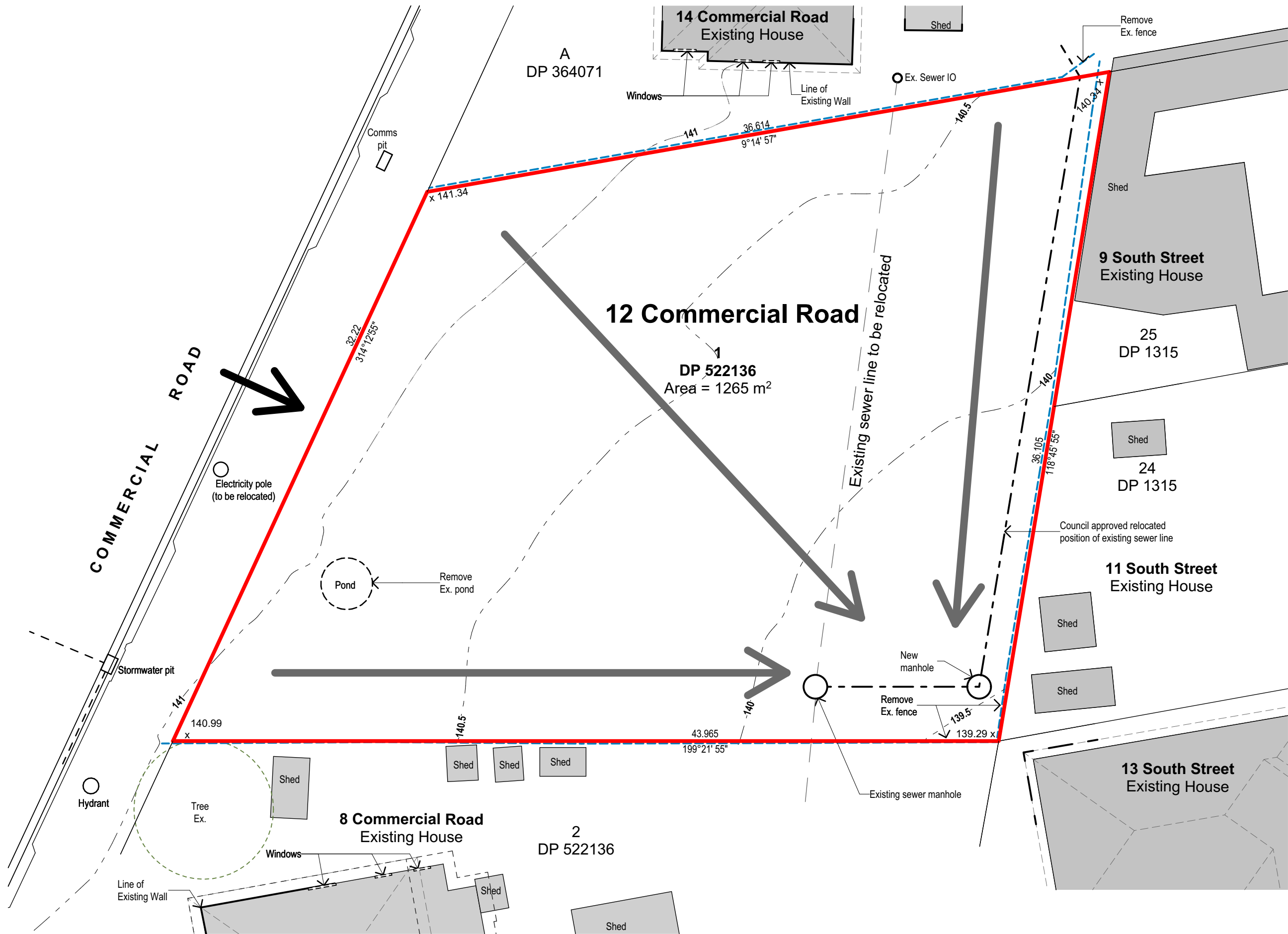
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Drawn: **RN**

Checked: **AA**

Scale: 1:1000 @ A3

PLOT DATE: 10/03/2025



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Rev	Details	Date
A	DA Issue	12/08/2024
B	DA Issue RFI	10/03/2025

North Coast Surgical Suite

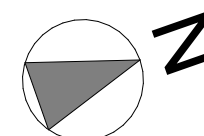
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NSW 2477
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armstrong&Co
Architects
e: theco@armstrongco.com.au
p: 0755 366 339
a: 2/ 52 Griffith St, QLD
andrew armstrong q 2814 n6321
www.armstrongco.com.au

Dwg:
3B

Title:
Site Plan - Existing

Job#: **258AL01**
Date: **12/08/2024**
Drawn: **RN**
Checked: **AA**
Scale: **1:200 @ A3**
PLOT DATE: 10/03/2025



4B

PLOT DATE: 10/03/2025

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Architects
e: theco@armstrongco.com.au
p: 0755 366 339
a: 2/ 52 Griffith St, QLD
andrew armstrong q 2814 n6321
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Note:

- Parking & circulation to comply with AS2890.1 & AS2890.6
- Access to premises to comply with AS1428.1



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Rev	Details	Date
A	DA Issue	12/08/2024
B	DA Issue RFI	10/03/2025
C	Larger delivery bay added	5/5/2025

North Coast Surgical Suite

12 Commercial Road Alstonville
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North Coast Surgical Suite

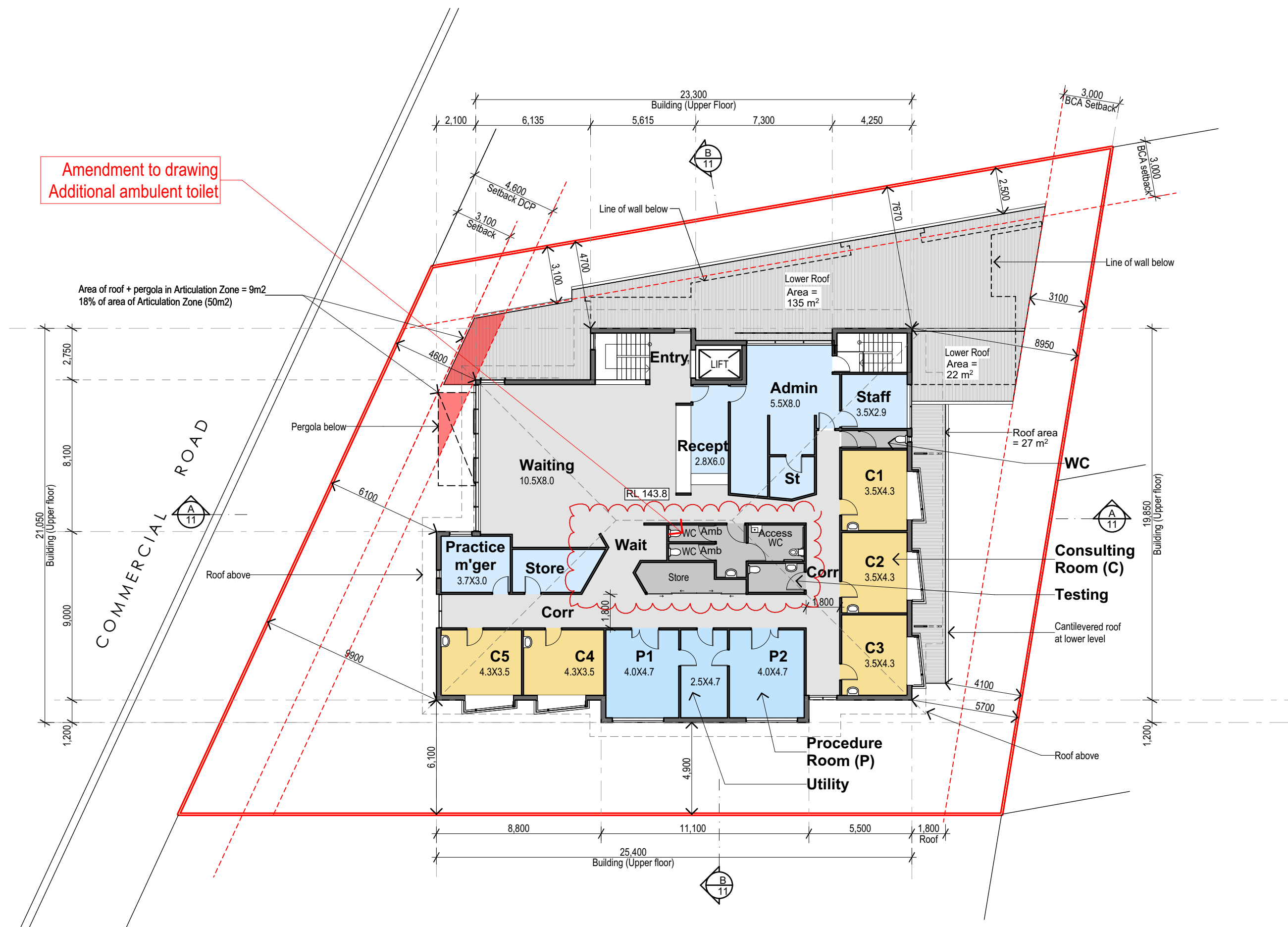
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Dwg:
5c
Title:
**Proposed
Ground Floor
Plan**

Job#: **258AL01**
Date: **5/5/2025**
Drawn: **RN**
Checked: **AA**
Scale: **1:200 @ A3**
PLOT DATE: 10/03/2025

Amendment to drawing
Additional ambulant toilet

Area of roof + pergola in Articulation Zone = 9m²
18% of area of Articulation Zone (50m²)



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Rev	Details
A	DA Issue
B	DA Issue RFI

Date
12/08/2024
10/03/2025

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e: theco@armstrongco.com.au
p: 0755 366 339
a: 2/ 52 Griffith St, QLD
andrew armstrong q 2814 n6321
www.armstrongco.com.au

Dwg:

6B

Title:
**Proposed First
Floor Plan**

Job#: **258AL01**

Date: **10/03/2025**

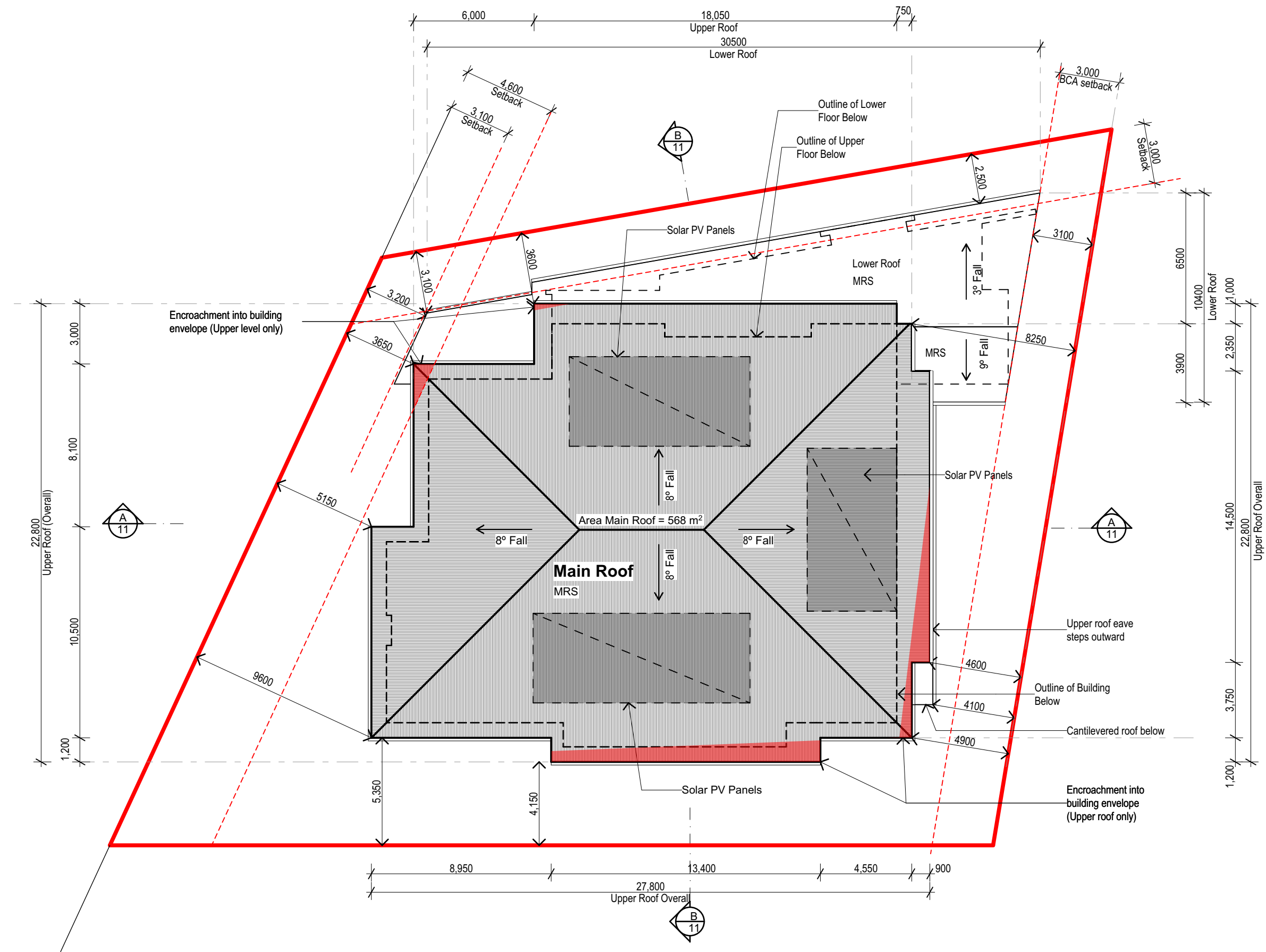
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Checked: **AA**

Scale: **1:200 @ A3**

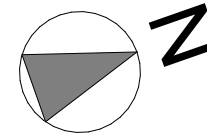
PLOT DATE: 10/03/2025

Note:
- refer Drawing 6 for areas
of Ground Floor roofs



Legend

- B-1 Balustrade - Type 1 (min. 1000 high)
- CC Concrete Column
- MRS Metal Roof Sheet
- MWS Metal Wall Sheet
- PM Painted masonry
- RWT Rainwater tank
- SC Screens - Aluminium
- TE Timber element
- WB Weatherboard cladding



Dwg:

7
A

Title:
Proposed Roof Plan

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B	DA Issue RFI

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12/08/2024
10/03/2025

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Architects

e: theco@armstrongco.com.au
p: 0755 366 339
a: 2/ 52 Griffith St, QLD
andrew armstrong q 2814 n6321
www.armstrongco.com.au

Job#: **258AL01**

Date: **12/08/2024**

Drawn: **RN**

Checked: **AA**

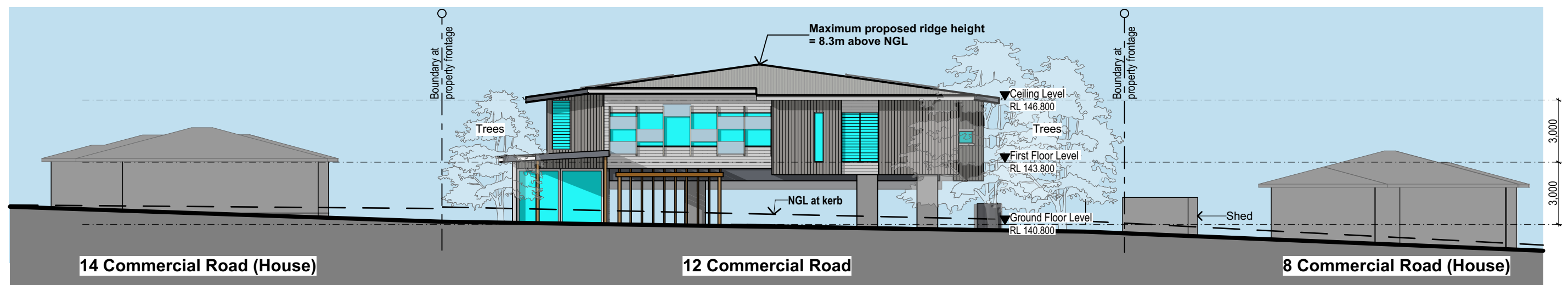
Scale: **1:200 @ A3**

PLOT DATE: 10/03/2025



- ① Low height entry screening
- ② Variation in materials
- ③ Tree cluster
- ④ Landscaping in setback
- ⑤ Screen to carpark

○ South West Corner Street View



○ Streetscape elevation
NOTE: This elevation is extrapolated along the front boundary line

Dwg:

8A

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A	DA Issue
B	DA Issue RFI

Date
12/08/2024
10/03/2025

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Architects

e: theco@armstrongco.com.au
p: 0755 366 339
a: 2/ 52 Griffith St, QLD
andrew armstrong q 2814 n6321
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Title:
Streetscape

Job#: **258AL01**

Date: **12/08/2024**

Drawn: **RN**

Checked: **AA**

Scale: **1:200 @ A3**

PLOT DATE: 10/03/2025

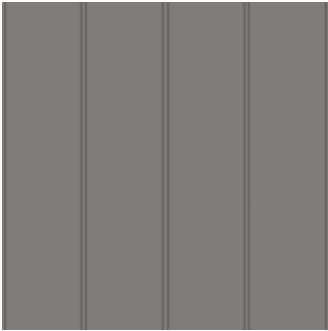


3D of Entry



3D from South Corner

Materials



MWS
Metal wall sheet
Pressed seam profile
Colorbond "Wallaby"



PM
Painted masonry



MRS
Metal roof sheet
Spandek profile
Colorbond "Bluegum"



WB
Weatherboard cladding
Paint finish - Colour Off-White



TE
Indicative colour of
timber elements



CC
Dark grey
paint

Note:
Refer Elevations legend for extents
of materials (Drawing 10)

Dwg:
9 B

Title:
**Materials &
Colours**

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B	DA Issue RFI

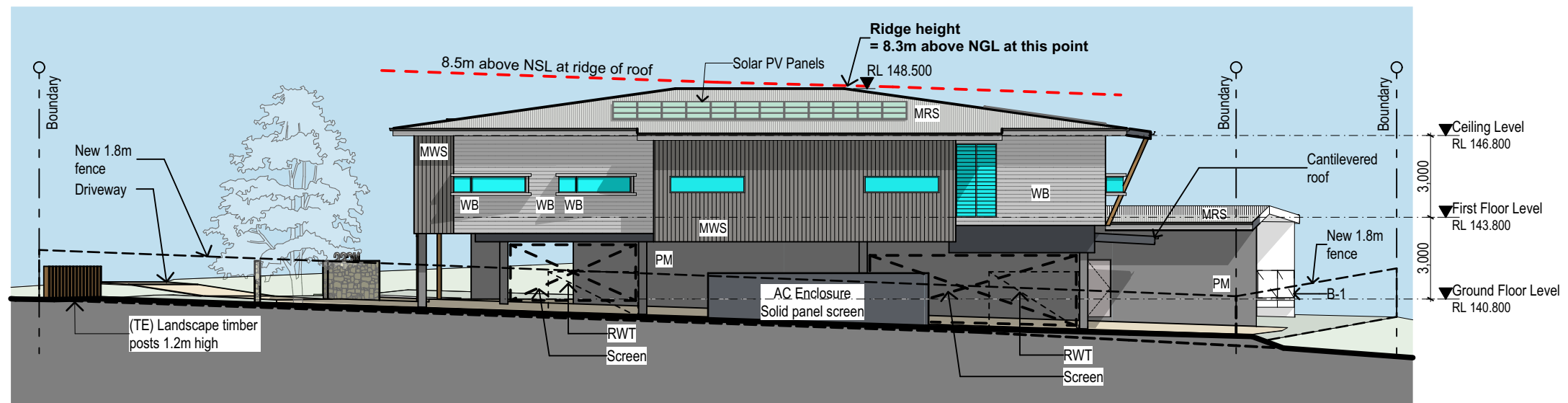
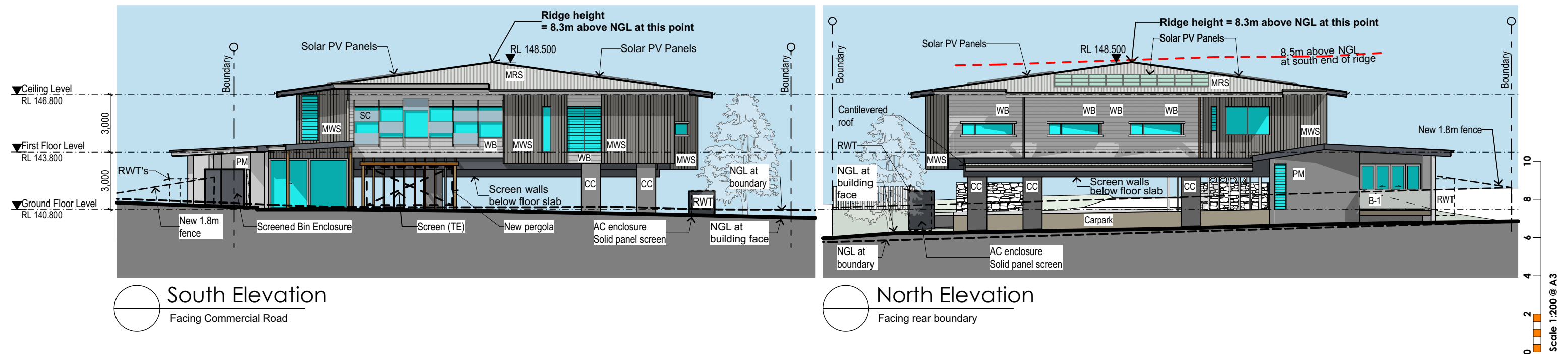
Date
12/08/2024
10/03/2025

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NSW 2477
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Architects
e: theco@armstrongco.com.au
p: 0755 366 339
a: 2/ 52 Griffith St, QLD
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Job#: **258AL01**
Date: **12/08/2024**
Drawn: **RN**
Checked: **AA**
Scale: **@ A3**
PLOT DATE: 10/03/2025



Legend

B-1	Balustrade - Type 1 (min. 1000 high)
CC	Concrete Column
MRS	Metal Roof Sheetting
MWS	Metal Wall Sheetting
PM	Painted masonry
RWT	Rainwater tank
SC	Screens - Aluminium
TE	Timber element
WB	Weatherboard cladding

Dwg:

10.B

Title:
Elevations

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10/03/2025

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p: 0755 366 339
a: 2/ 52 Griffith St, QLD
andrew armstrong q 2814 n6321
www.armstrongco.com.au

Job#: **258AL01**

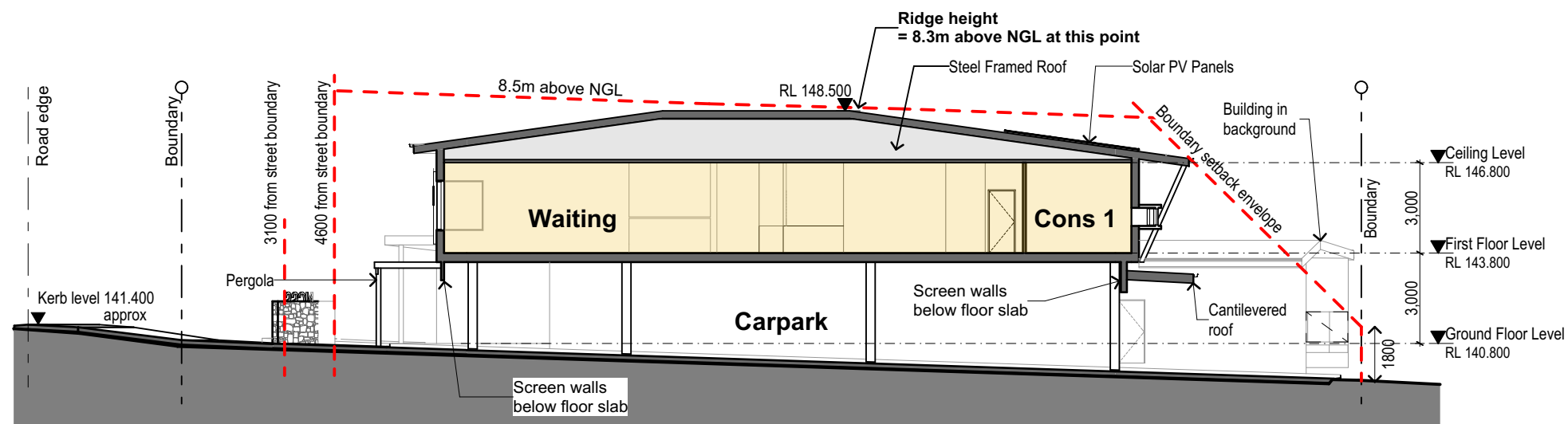
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Drawn: **RN**

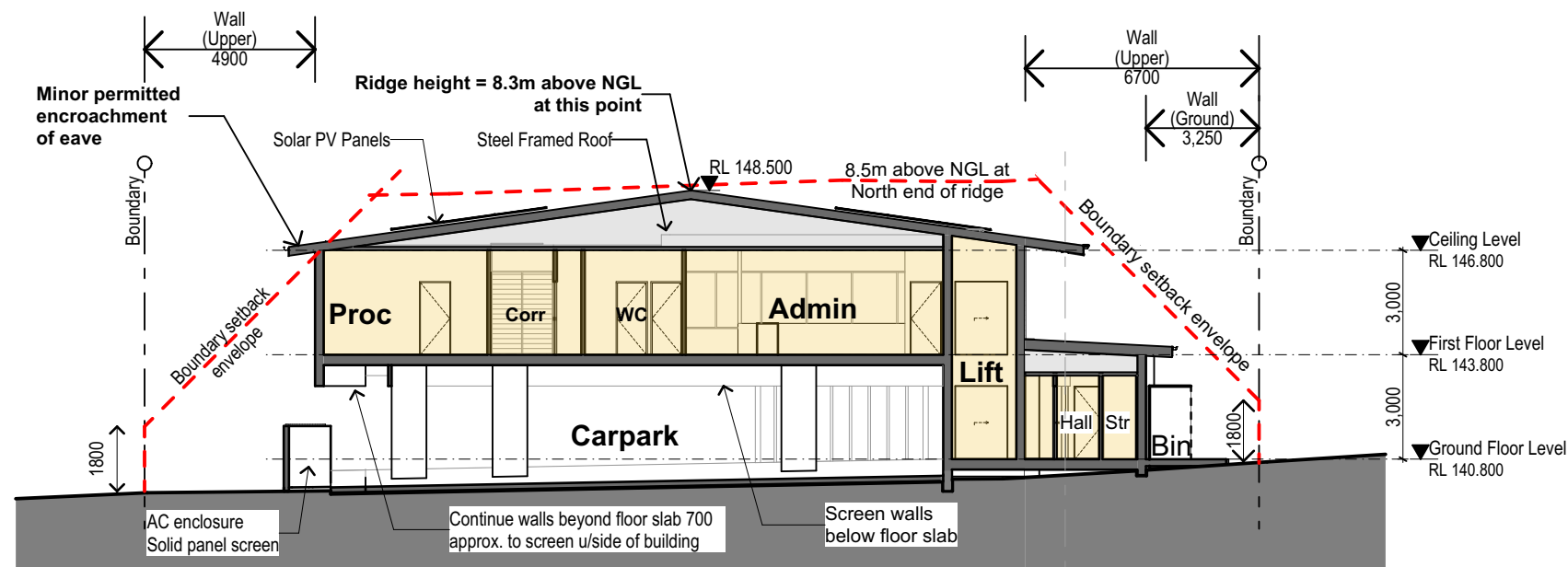
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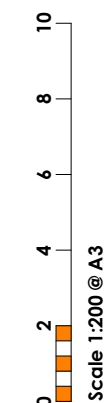
PLOT DATE: 10/03/2025



Building Section A
Section taken through highest point of roof from NGL



Building Section B
Section taken through highest point of roof from NGL



Dwg:
11B

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A	DA Issue	12/08/2024
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NSW 2477
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armstrong&Co
Architects
e: theco@armstrongco.com.au
p: 0755 366 339
a: 2/ 52 Griffith St, QLD
andrew armstrong q 2814 n6321
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Title:
Sections

Job#: **258AL01**
Date: **12/08/2024**
Drawn: **RN**
Checked: **AA**
Scale: **1:200 @ A3**
PLOT DATE: 10/03/2025

NOTES

Survey Intent

This detail survey was undertaken to locate the visible site features, including the topography & improvements thereon. It is not a "Land Survey" as defined by the Surveying and Spatial Information Act, 2002. As such, no boundary fixation was undertaken to accurately determine the parcel boundaries, the available land area or it's dimensions. The dimensions shown have been derived from the relevant registered plans held by the Land Titles Office. No work was undertaken to verify these dimensions. Should accurate boundary locations be required such as in work relying on critical setbacks from the street or boundaries, further survey work would need to be undertaken to accurately locate the boundaries, which may include the registration of a survey redefining the property. The Certificate of Title has not been investigated. Encumbrances may exist which are not identified on this plan, and therefore, a full investigation should be undertaken to assess any possible implications.

Underground Services

The location of the services shown hereon have been derived from a combination of field survey of visible components and records obtained from the appropriate authority. The exact location of these services, and any others may therefore vary and should be verified with the relevant authorities and or the "Dial before you Dig" service prior to any works being undertaken. Should any work be undertaken on or adjacent to the site to which this survey refers it is the responsibility of the person doing the work to locate any service that may be affected by that work. Numerous services including optic fibre cable may exist in the area and not all services may have been shown in our plan. Whilst due care was used in compiling this information, no responsibility can be accepted or taken by Ardill Payne & Partners for any inaccuracies or omissions shown or not shown hereon.

Level Datum

Level Datum: AHD Origin: PM42024 (RL 137.293 AHD) Contour Interval: 0.25m Do not Scale Heights

NOTE: For Surveyed Points, Including Tree Details, refer to Autocad Layers: "X-MARK" "X-CODE" & "X-RL"

Accuracy

The accuracy of the features shown may not be suitable for purposes beyond the intent of the survey. The intended user must determine whether the required accuracy is adequate prior to use. Do not scale off this plan. Relationships of improvements to boundaries are diagrammatic only. This plan has been created at a scale of 1:400 and may not be satisfactory for other purposes. The accuracy of any enlargement or other reproduction may be less than that of the original. No responsibility will be accepted by Ardill Payne & Partners for use contrary to these terms.

LEGEND

LINE TYPES

WATER RETIC	
SEWER MAIN	
STORMWATER RETIC	
COMMS	
BANK TOP	
BANK BOTTOM	
ROAD CENTRELINE	
FENCE	
BOUNDARY SUBJECT	
BOUNDARY OTHER	
PAVING	
EAVE	

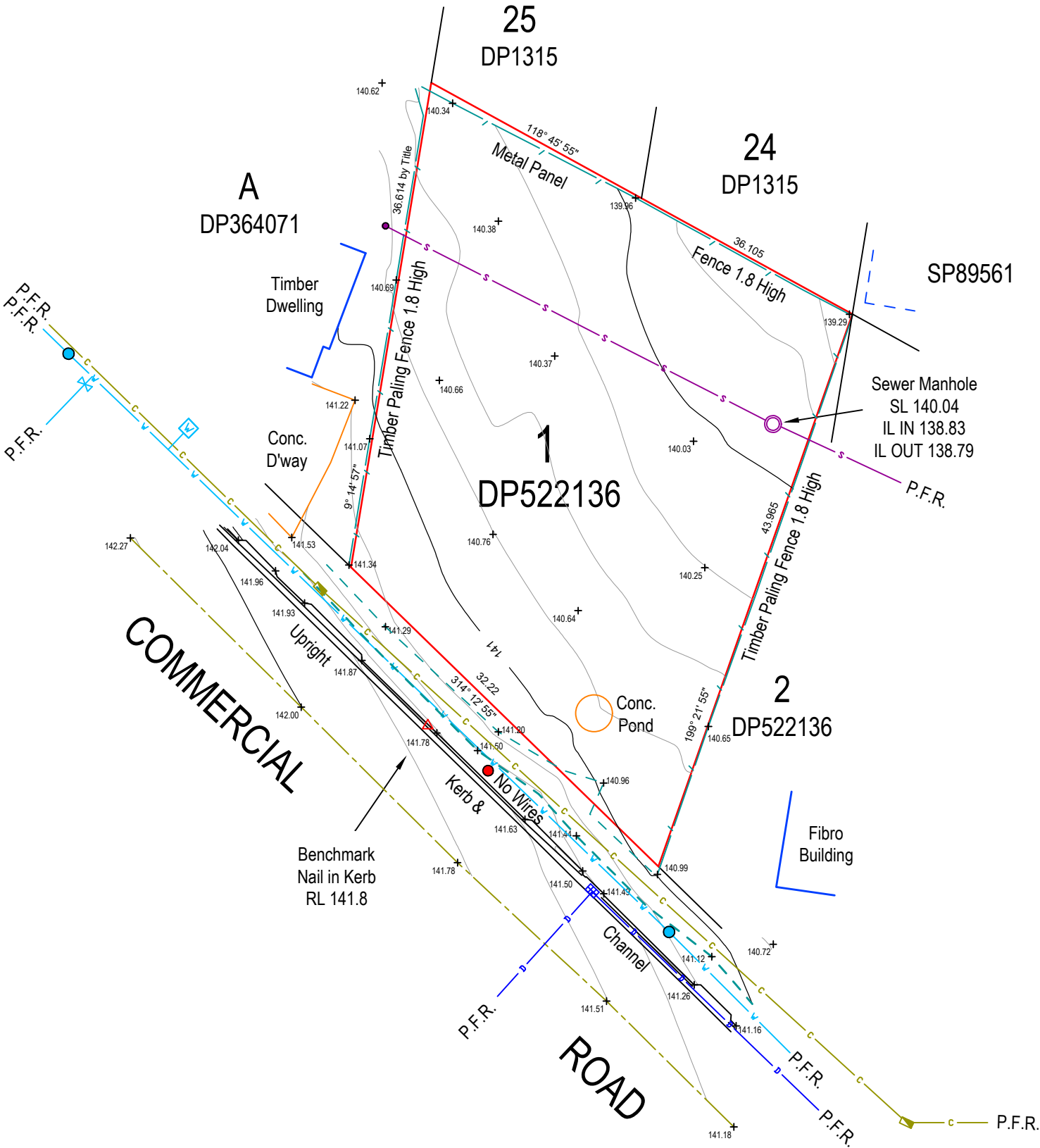
SYMBOLS

WATER METER	
WATER VALVE	
WATER FIRE HYDRANT	
SEWER MANHOLE	
SEWER INSPECTION POINT	
STORMWATER GRATE	
ELECTRICITY POLE	
COMMS PIT	
BENCH MARK	

P.F.R. Plotted from Records



SCALE 1:400



Project: 12 Commercial Road
Alstonville
Lot 1 in DP522136

Client: North Coast Surgical Suite

Title:

Contour & Detail Survey

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& ENGINEERS PLANNERS SURVEYORS
ENVIRONMENTAL PROJECT MANAGEMENT

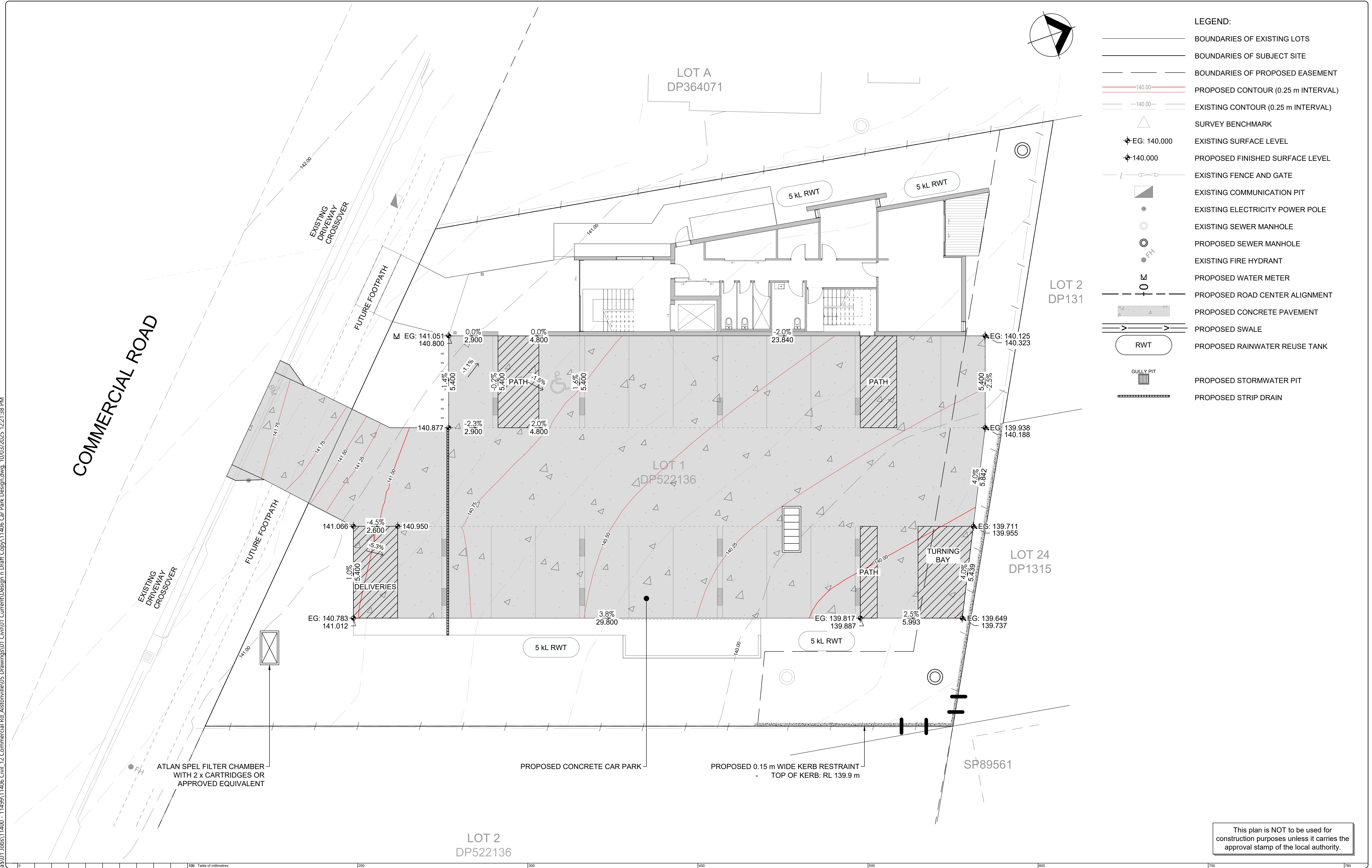
BALLINA 45 River Street Ph. 02 6686 3280
A.B.N. 51 808 558 977 e-mail: info@ardillpayne.com.au



Surveyed PE	Scale at A3 1:400
Drawn RH	Datum A.H.D.
Date 8/8/22	Acad File 11406S01
Checked RJJ	Approved
Job No. 11406	Dwg No. S01
	Issue

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\\fp03.ardillpayne.local\data\S01 Jobs\11400 - 11499\11406 Civil_12 Commercial Rd Alstonville\05 Drawings\01 Civil\01 Current\Design n Draft Copy\11406 Car Park Design.dwg 10/03/2025 12:21:38 PM



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Issue	Date	Description	App'd
G	10/03/2025	STORMWATER AMENDED	TC
F	19/08/2024	STRIP DRAIN ADDED	TC
E	13/08/2024	SMP INCLUDED	TC
D	08/08/2024	CAR PARK LAYOUT UPDATED - 06-AUG-2024	TC
C	05/08/2024	CAR PARK LAYOUT UPDATED - 22-JUL-2024	TC
B	29/05/2024	CAR PARK SHIFTED 1m SOUTH	TC
A	14/05/2024	FIRST ISSUE	TC

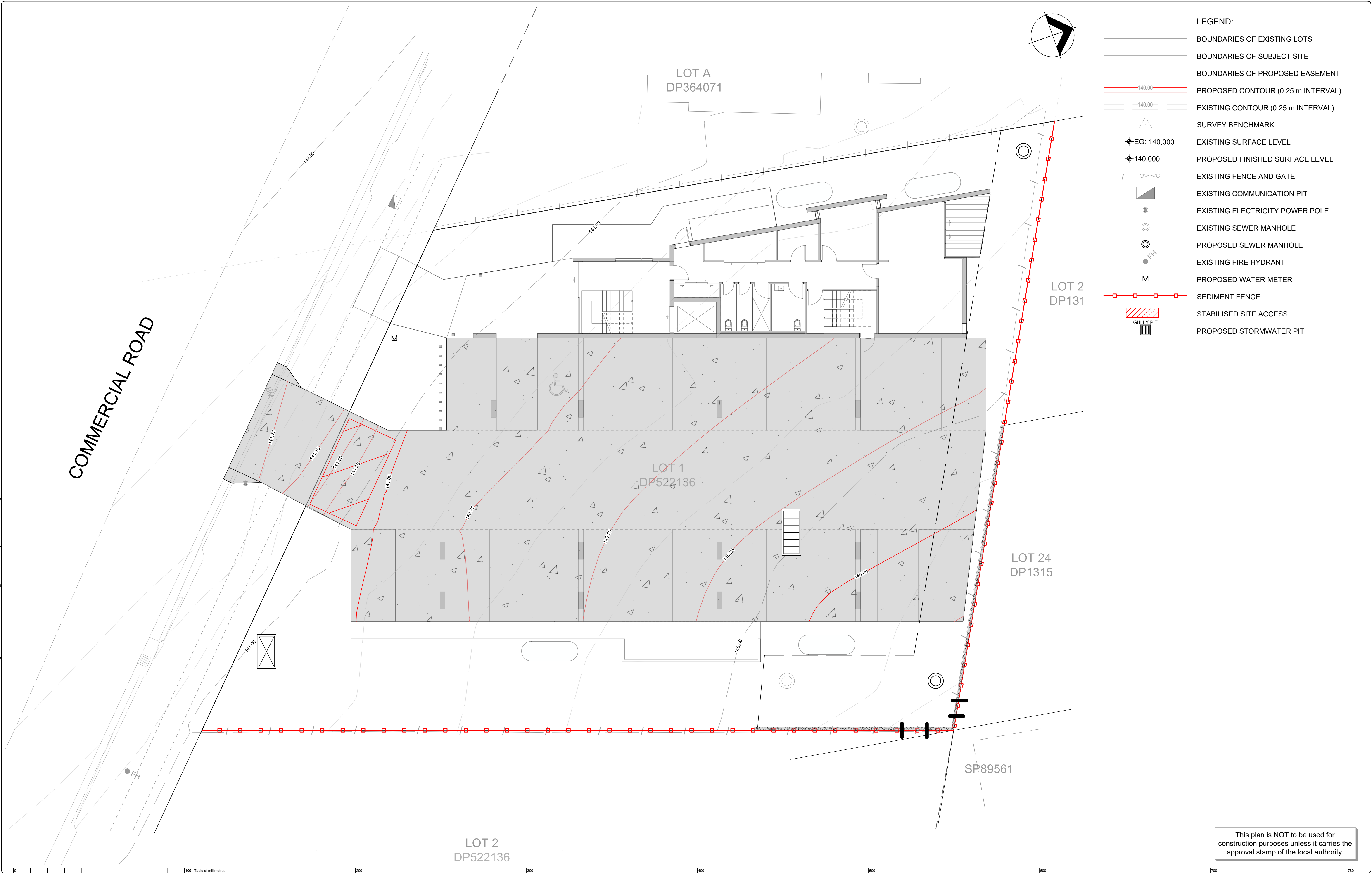
Client:	NORTH COAST SURGICAL SUITE
---------	----------------------------

Project:	NORTH COAST SURGICAL SUITE 12 COMMERCIAL ROAD, ALSTONVILLE
----------	---

Title:	CAR PARK DESIGN LAYOUT PLAN WITH LEVELS
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G	10/03/2025	STORMWATER AMENDED	TC
F	19/08/2024	STRIP DRAIN ADDED	TC
E	13/08/2024	SMP INCLUDED	TC
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C	05/08/2024	CAR PARK LAYOUT UPDATED - 22-JUL-2024	TC
B	29/05/2024	CAR PARK SHIFTED 1m SOUTH	TC
A	14/05/2024	FIRST ISSUE	TC

Client:	NORTH COAST SURGICAL SUITE
---------	----------------------------

Project:	NORTH COAST SURGICAL SUITE 12 COMMERCIAL ROAD, ALSTONVILLE
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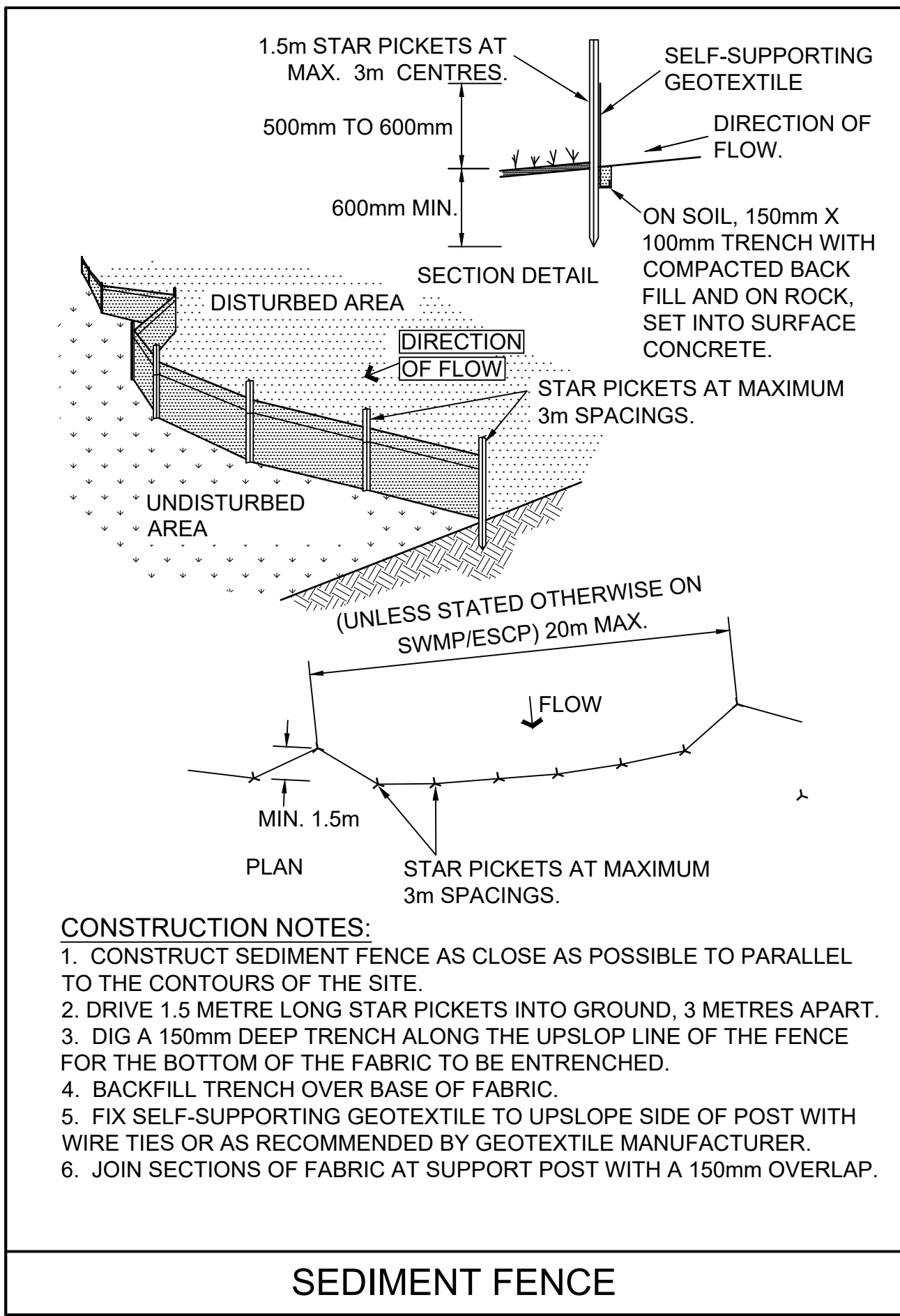
Title:	EROSION AND SEDIMENT CONTROL PLAN
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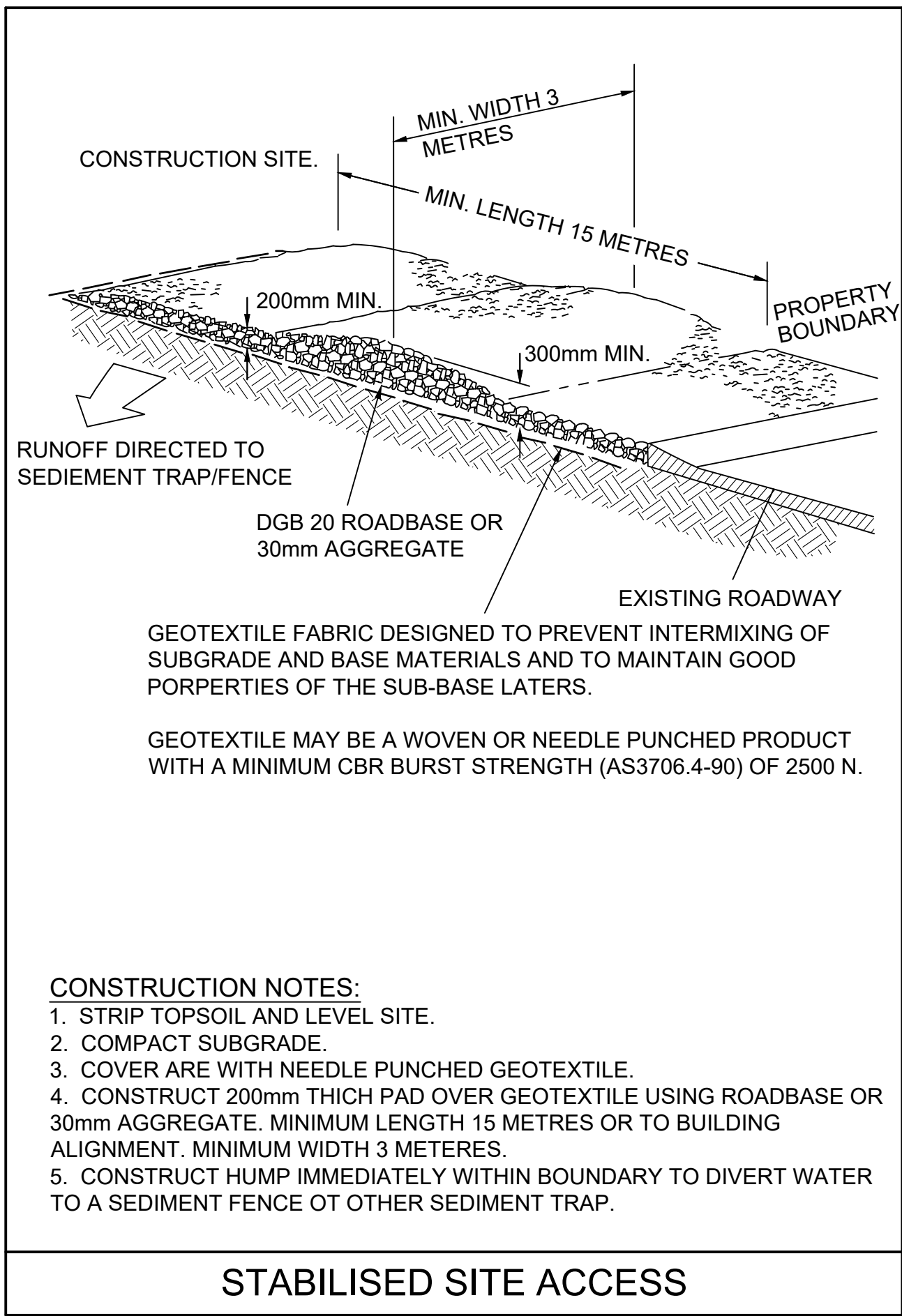


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Checked	TC	Datum	A.H.D.
Approved	TC	Drafting File	11406 ESCP.dwg
Date	10/03/2025	Design File	
Job No.	11406	Dwg No.	C02
		Issue	G

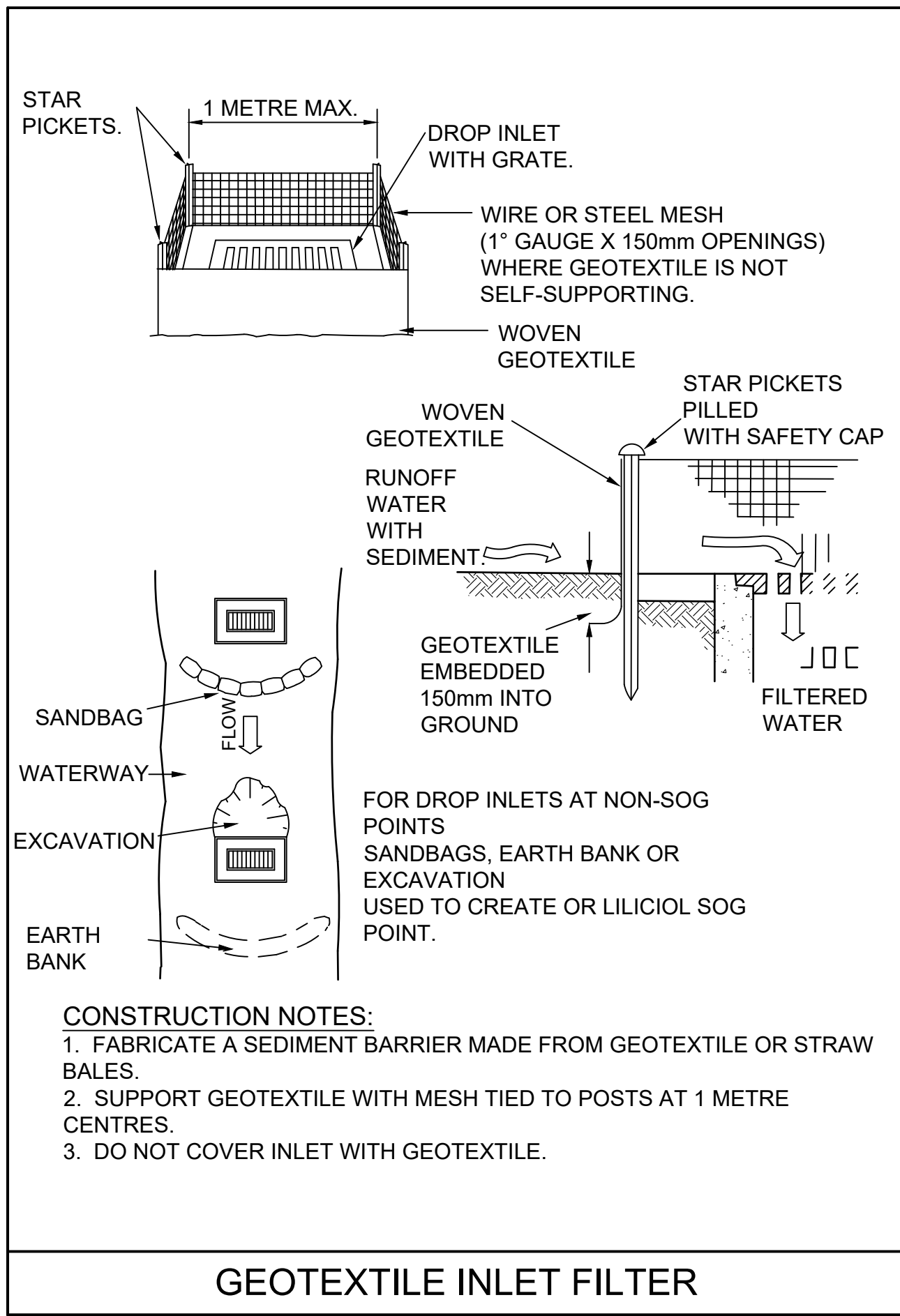
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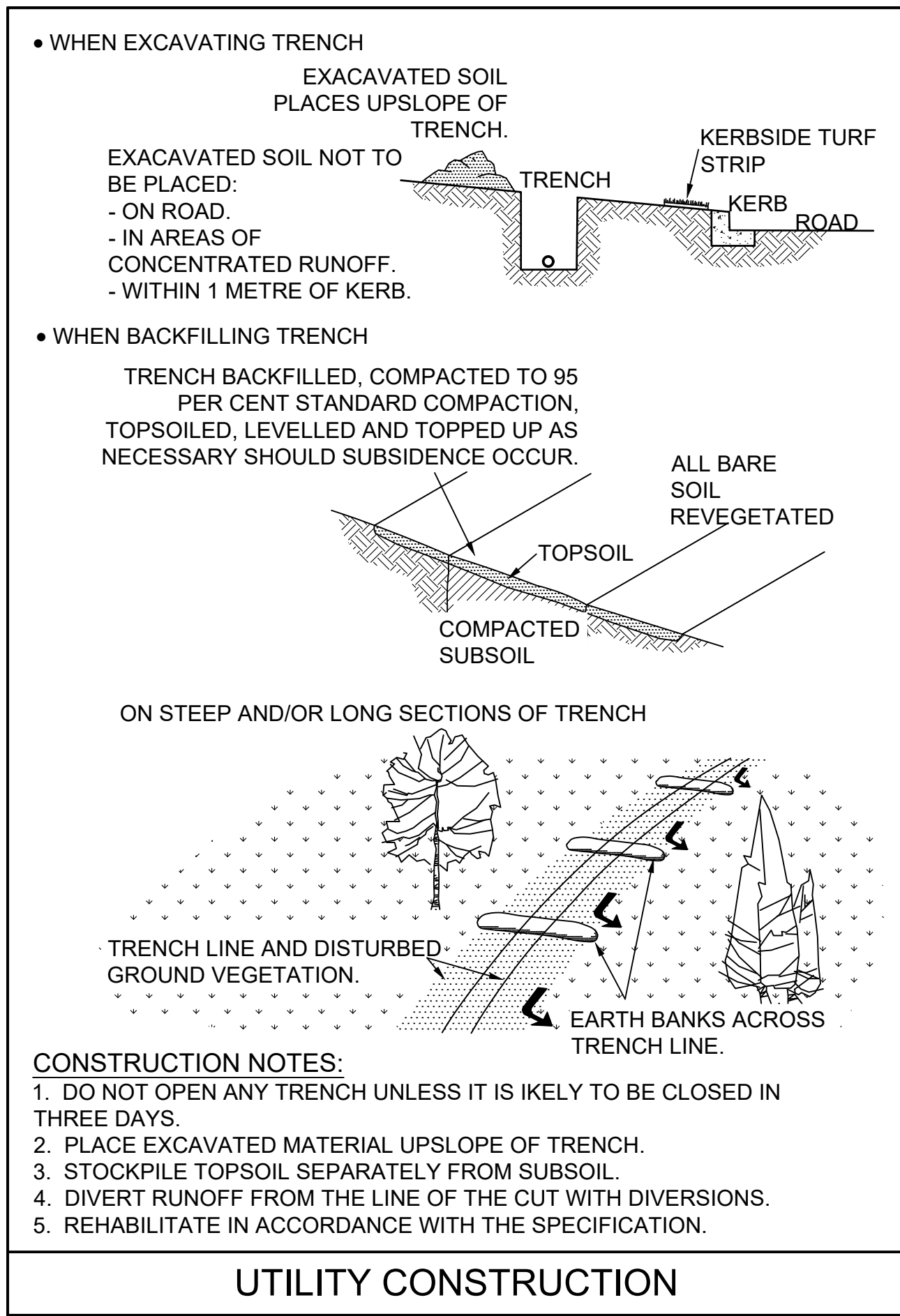
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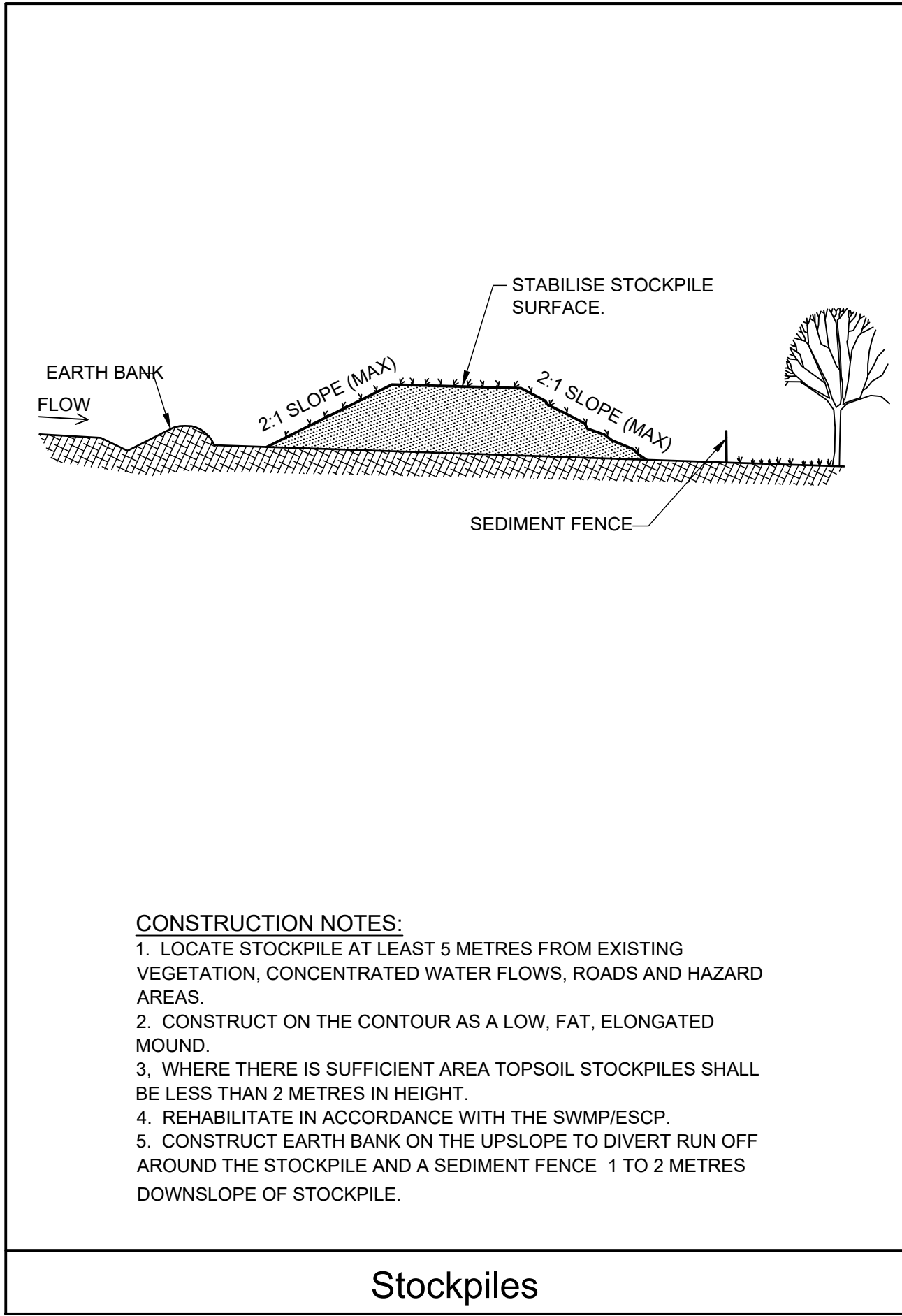
STABILISED SITE ACCESS



GEOTEXTILE INLET FILTER



UTILITY CONSTRUCTION



Stockpiles

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E	13/08/2024	SMP INCLUDED	TC
D	08/08/2024	CAR PARK LAYOUT UPDATED - 06-AUG-2024	TC
C	05/08/2024	CAR PARK LAYOUT UPDATED - 22-JUL-2024	TC
B	29/05/2024	CAR PARK SHIFTED 1m SOUTH	TC
A	14/05/2024	FIRST ISSUE	TC

Client: NORTH COAST SURGICAL SUITE

Project: NORTH COAST SURGICAL SUITE
12 COMMERCIAL ROAD, ALSTONVILLE

Title: EROSION AND SEDIMENT CONTROL STANDARD DETAILS

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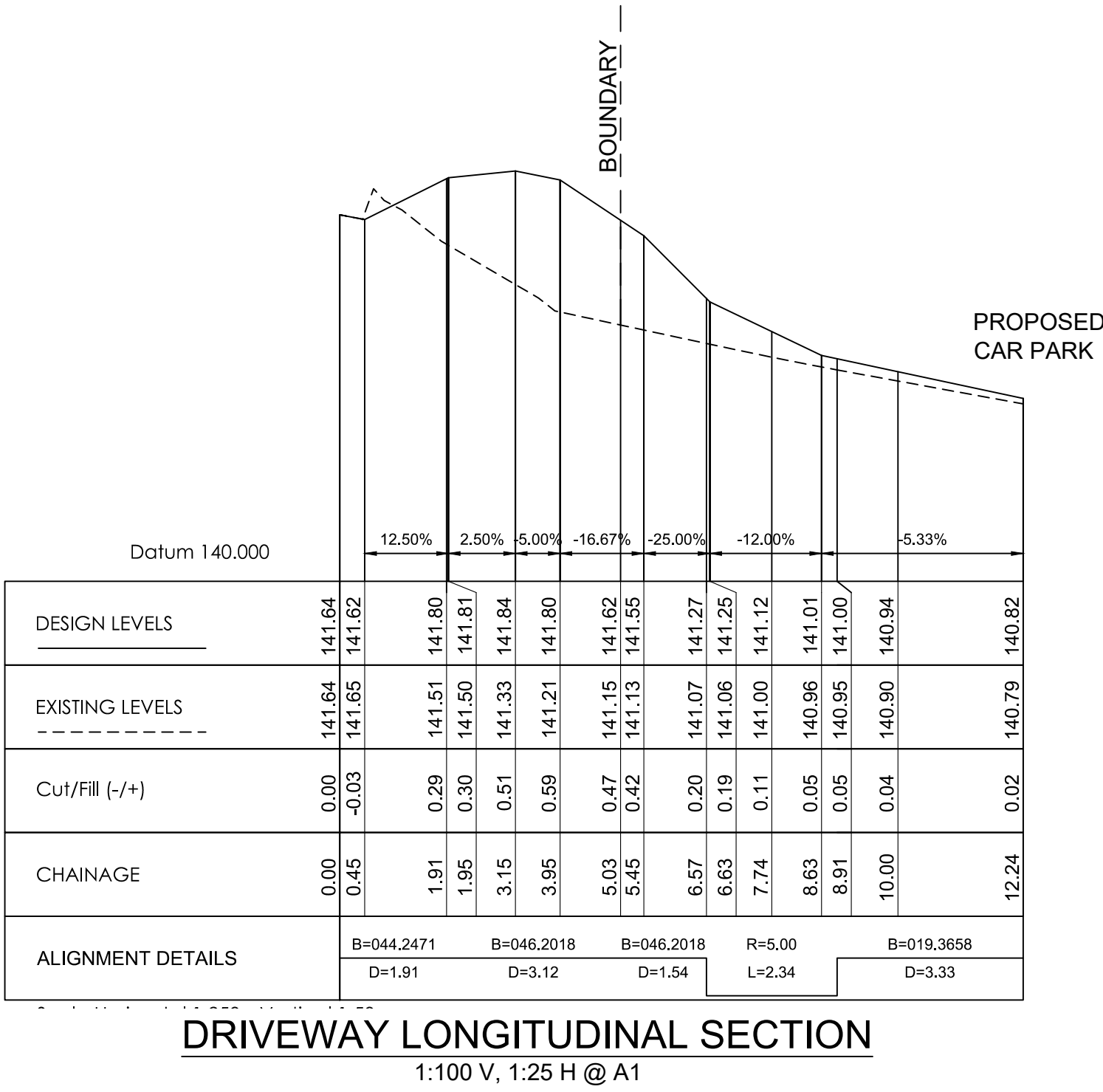


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COMMERCIAL ROAD

DRIVEWAY CROSSOVER LAYOUT PLAN
1:100 @ A1



- LEGEND:
- BOUNDARIES OF EXISTING LOTS
 - BOUNDARIES OF SUBJECT SITE
 - PROPOSED CONTOUR (0.25 m INTERVAL)
 - EXISTING CONTOUR (0.25 m INTERVAL)
 - SURVEY BENCHMARK
 - EXISTING ELECTRICITY POWER POLE
 - PROPOSED ROAD CENTER ALIGNMENT
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED WATER METER
 - PROPOSED STORMWATER PIT
 - PROPOSED STRIP DRAIN

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Issue	Date	Description	App'd
G	10/03/2025	STORMWATER AMENDED	TC
F	19/08/2024	STRIP DRAIN ADDED	TC
E	13/08/2024	SMP INCLUDED	TC
D	08/08/2024	CAR PARK LAYOUT UPDATED - 06-AUG-2024	TC
C	05/08/2024	CAR PARK LAYOUT UPDATED - 22-JUL-2024	TC
B	29/05/2024	CAR PARK SHIFTED 1m SOUTH	TC
A	14/05/2024	FIRST ISSUE	TC

Client:
NORTH COAST SURGICAL SUITE

Project:
**NORTH COAST SURGICAL SUITE
12 COMMERCIAL ROAD, ALSTONVILLE**

Title:
DRIVEWAY CROSSOVER

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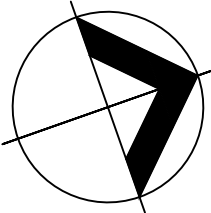
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GUNNEDAH 285 Conadilly Street Ph. 02 6742 9955
A.B.N. 51 808 558 977 e-mail: info@ardillpayne.com.au



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Elevations Table			
Number	Color	Minimum Elevation	Maximum Elevation
1		-0.500	-0.300
2		-0.300	-0.100
3		-0.100	0.000
4		0.000	0.100
5		0.100	0.300
6		0.300	0.500



NOTE:
1) THE CUT/FILL ANALYSIS IS CALCULATED BASED ON THE SUBGRADE LEVEL OF THE CONCRETE SLAB (0.15 m BELOW FINISH SURFACE LEVEL) TO THE EXISTING SURFACE

COMMERCIAL ROAD



Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
CAR PARK_DATUM	1.000	1.000	618.20sq.m	22.07 Cu. M.	19.14 Cu. M.	2.93 Cu. M.<Cut>
Totals			618.20sq.m	22.07 Cu. M.	19.14 Cu. M.	2.93 Cu. M.<Cut>

LOT 2
DP522136

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A	14/05/2024	FIRST ISSUE	TC

Client:
NORTH COAST SURGICAL SUITE

Project:
NORTH COAST SURGICAL SUITE
12 COMMERCIAL ROAD, ALSTONVILLE

Title:
CAR PARK CUT AND FILL ANALYSIS

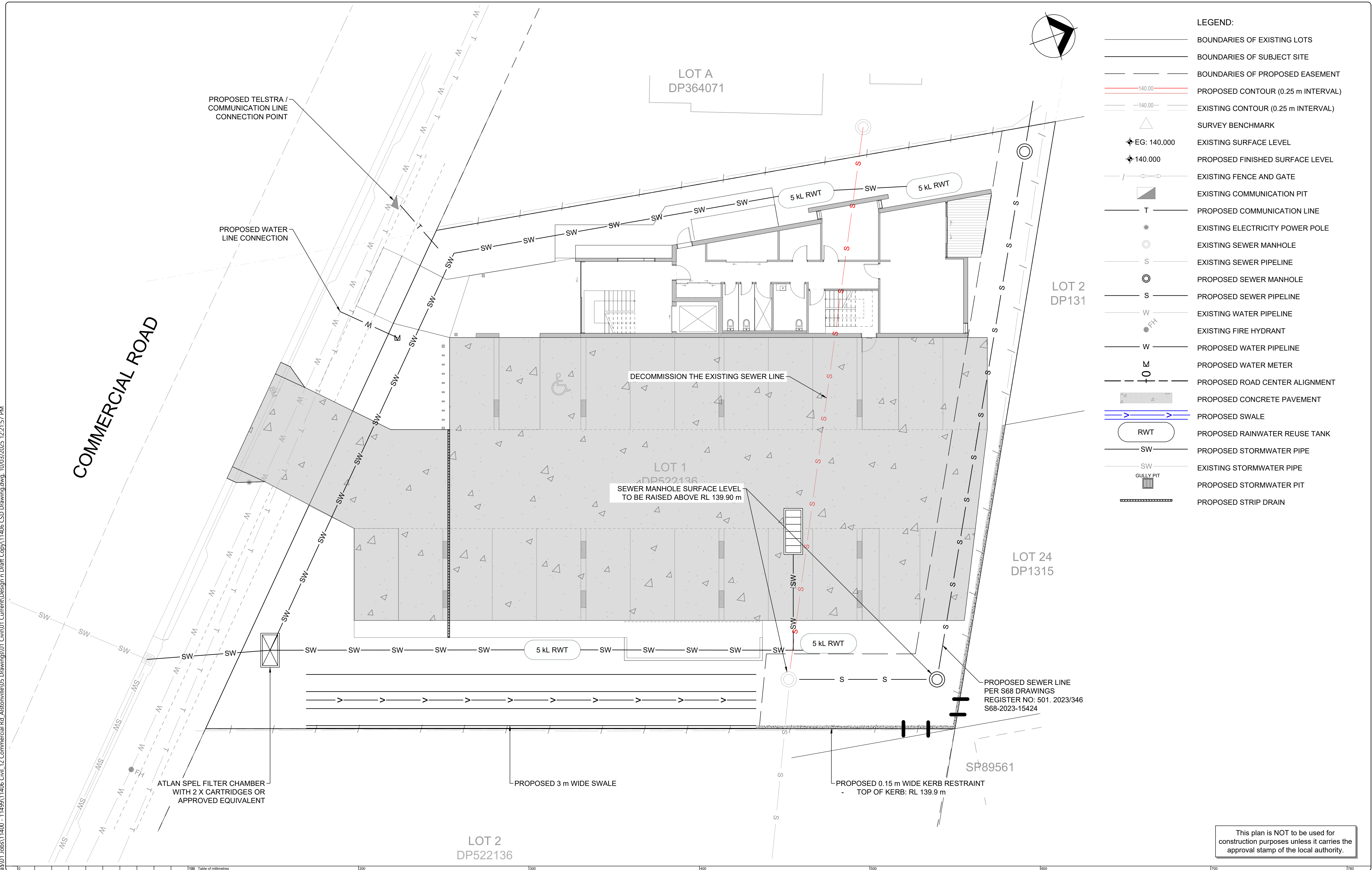
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- LEGEND:
- BOUNDARIES OF EXISTING LOTS
 - BOUNDARIES OF SUBJECT SITE
 - BOUNDARIES OF PROPOSED EASEMENT
 - PROPOSED CONTOUR (0.25 m INTERVAL)
 - EXISTING CONTOUR (0.25 m INTERVAL)
 - SURVEY BENCHMARK
 - EXISTING SURFACE LEVEL
 - PROPOSED FINISHED SURFACE LEVEL
 - EXISTING FENCE AND GATE
 - EXISTING COMMUNICATION PIT
 - PROPOSED COMMUNICATION LINE
 - EXISTING ELECTRICITY POWER POLE
 - EXISTING SEWER MANHOLE
 - EXISTING SEWER PIPELINE
 - PROPOSED SEWER MANHOLE
 - PROPOSED SEWER PIPELINE
 - EXISTING WATER PIPELINE
 - EXISTING FIRE HYDRANT
 - PROPOSED WATER PIPELINE
 - PROPOSED WATER METER
 - PROPOSED ROAD CENTER ALIGNMENT
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED SWALE
 - PROPOSED RAINWATER REUSE TANK
 - PROPOSED STORMWATER PIPE
 - EXISTING STORMWATER PIPE
 - PROPOSED STORMWATER PIT
 - PROPOSED STRIP DRAIN

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B	29/05/2024	CAR PARK SHIFTED 1m SOUTH	TC
A	14/05/2024	FIRST ISSUE	TC

Client:
NORTH COAST SURGICAL SUITE

Project:
NORTH COAST SURGICAL SUITE
12 COMMERCIAL ROAD, ALSTONVILLE

Title:
COMBINED SERVICES DRAWING

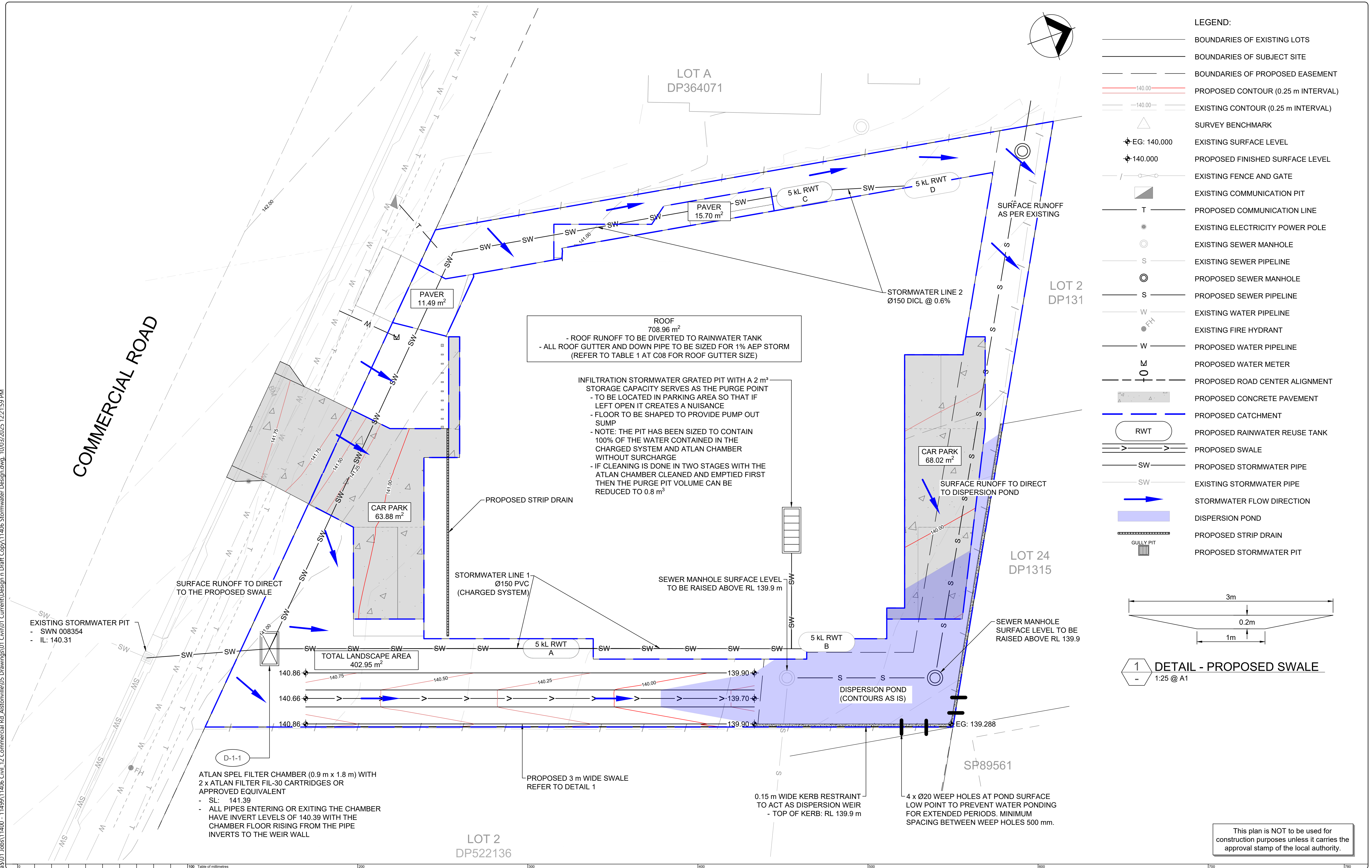
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Approved	TC	Drafting File	11406 CSD Drawing.dwg
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A	14/05/2024	FIRST ISSUE	TC

Client:	NORTH COAST SURGICAL SUITE
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Project:	NORTH COAST SURGICAL SUITE 12 COMMERCIAL ROAD, ALSTONVILLE
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Title:	STORMWATER MANAGEMENT PLAN - SHEET 1 - DESIGN LAYOUT PLAN
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Approved	TC	Drafting File	11406 Stormwater Design.dwg
Date	10/03/2025	Design File	
Job No	11406	Dwg No.	C07
		Issue	G



North Coast Surgical Suite, Alstonville

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Design Intent Statement	6
Conclusion	8

Ballina Shire Combined Development Control Plan
Chapter 1 – Urban Land

Policy Statement No. 6

Landscaping Guidelines



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1. PREAMBLE

2. RELATED STATUTES AND REFERENCE PUBLICATIONS

3. SCOPE AND POLICY OBJECTIVES

4. GENERAL LANDSCAPE PRINCIPLES

5. LANDSCAPE PLAN CHECKLIST

6. DESIGN FACTORS

7. SUITABLE PLANTINGS FOR URBAN ALLOTMENTS

Introduction

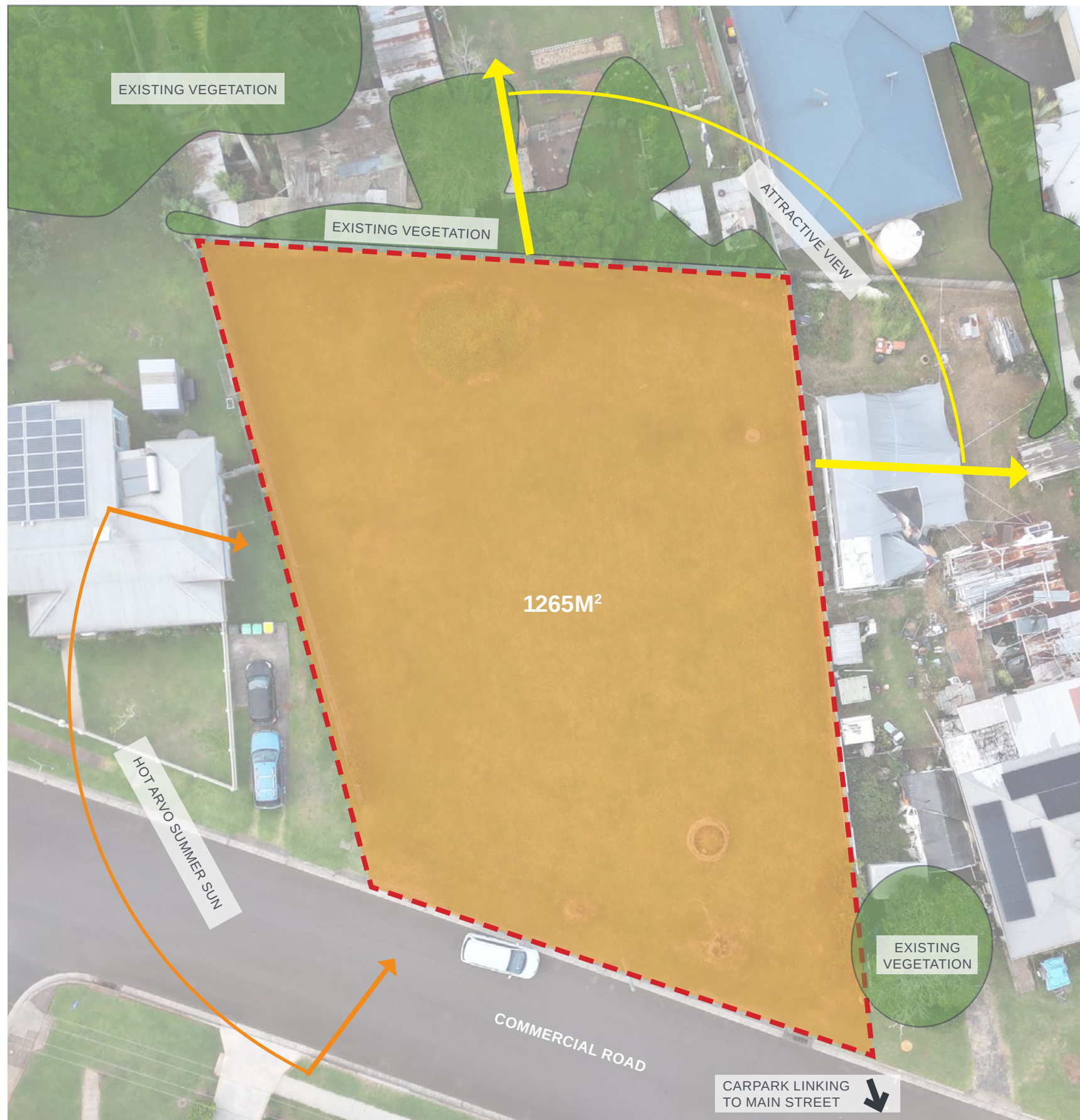
This Landscape Intent Statement has been prepared by 8LA landscape Architects for the proposed North Coast Surgical Suite at 12 Commercial Road in Alstonville.

The Statement of Landscape Intent (SLI) has been prepared in accordance with the Ballina Shire Council Policy Statement 6 Landscaping Guidelines and the Ballina Urban Garden Guide including the following steps:

- Undertaking site analysis.
- Coordination with and review of architectural documentation for the project.
- Meeting and collaborating with the client and consultants.
- Developing landscape strategies and principles.
- Defining strategies in the SLI supported by illustrations, plans, sections and imagery.

The summary of design factors from the Landscape Guidelines to be considered in this statement of landscape intent include:

- Coordination of utility services.
- Consider tall trees as a major element.
- Use planting to create scale.
- Rationalise maintenance.
- Use massed planting.
- Retain existing trees where possible.
- Use native plants where possible.



Aerial view
 SCALE
 Not to scale

Site Analysis

Broad Context and Topography

The site is 1265m² and trapezoidal in shape and has no structures existing other than an old concrete garden structure with the previous house now removed. The site is surrounded by existing residential properties on all sides with some commercial properties and a carpark which links into Main Street. The site is grassed with no trees and falls away from Commercial Road to the north east.

Micro-Climate and Views

The site is located on the side of the north eastern ridge through Alstonville CBD and affords attractive views to the east and a north east aspect. The site is exposed to hot afternoon summer sun from the south west on the commercial road frontage.

Landscape Intent Plan

The Landscape Intent Plan (LIP) illustrates the proposed extent of treatments and spaces created on the North Coast Surgical Suite site. The LIP is described in detail below and supported in the subsequent pages by cross sections and materials and finishes imagery.



LEGEND



Native ginger mass planting



Philodendron xanadu mass planting



Matt rush mass planting



Iris mass planting



Trees to 4m

Landscape Intent Plan

SCALE
1:200@A3



Design Intent Statement

This design intent statement is to be read in conjunction with the LIP and provides a description of the landscape setting for the new development. It includes key concepts, illustrative plans, cross sections and materials and finishes imagery.

The primary intent of the design is to create a setting for the new medical suites that is attractive for patients and comfortable and safe for staff. The design will also complement the existing residential character of the area, provide landscape treatments to soften and provide scale to the new built form, and create a setting to the new building.

The design responds to the design factors in the Landscape Guidelines as follows:

Coordination of Utility Services

The design relocates the sewer main from the adjoining property to the west and aligns it through the back of the property to reduce site conflicts.

The design embraces the site's sloping topography, and captures stormwater enabling infiltration of stormwater in the landscape areas prior to exiting the site via a level spreader in the north east corner. Roof water is captured in tanks with overflow connected back to the street stormwater system.

Tall Trees as Signature Tree

Tall trees are proposed on the Commercial Road frontage as a single shade tree on the north west corner and a cluster of three trees in the south east corner to frame the building. The proposed tree is *Buckinghamia celsissima* or Ivory Curl Tree which will form a landmark for the frontage and endemic to northern New South Wales and South east Queensland. This species has also been a traditional medicine source making it appropriate for a medical suite.

Buckinghamia celsissima, also known as the ivory curl tree has been used traditionally in Aboriginal cultures for pain relief, with the sticky leaves used for toothaches and earaches.



Fencing



Iris



Feature basalt stone low wall



Ivory Curl (*Buckinghamia celcissima*)



Blue Lilly Pilly (*Syzygium oleosum*)



Matt Rush (*Lomandra* spp)



Philodendron xandadu



Native Ginger (*Alpinea purpurea*)

Use Planting to Create Scale

The tall upright Ivory Curl tree will frame the building and other medium height trees to 4m high are proposed on the western side of the building to create a scale to the adjoining residential properties. The species proposed include Blue Lilly Pillies and Lemon Myrtles (*Syzygium oleosum* and *Backhousia citriodora*) to soften the lower carpark areas and still promote views out to the east.

A screening trellis is also provided around the edge of the basement carpark to support climbing species such as Hoya and Cissus which will create a green veil around the building.

Rationalise Maintenance Using Mass Planting, Predominantly Native

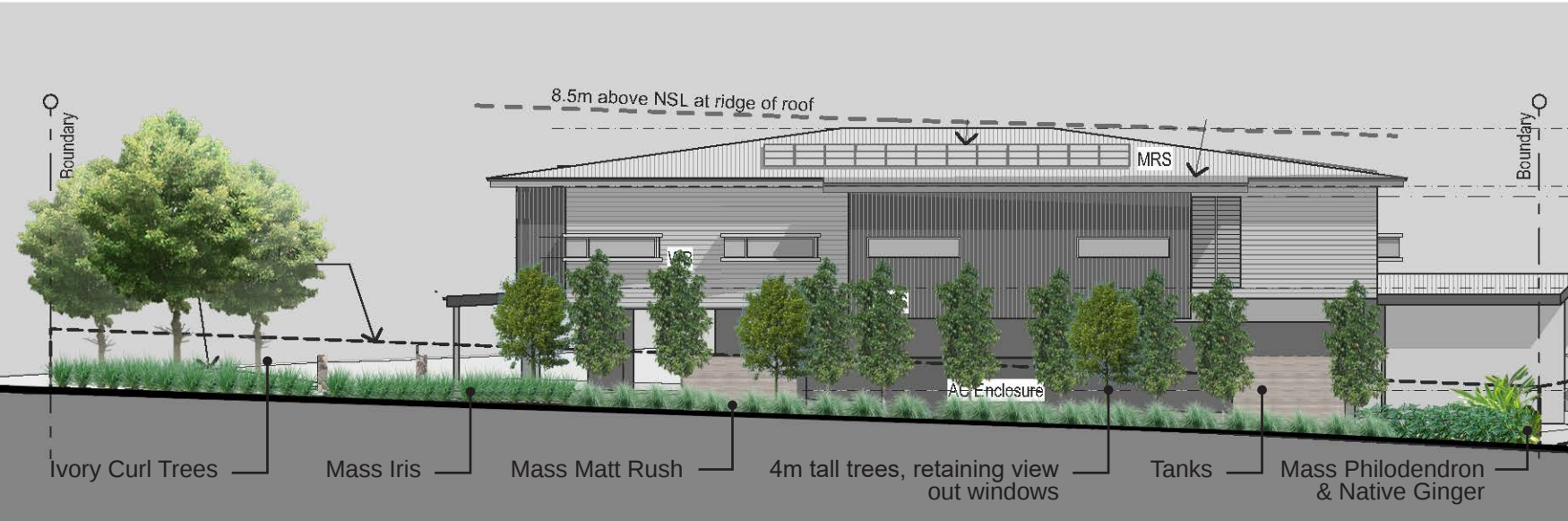
Under the feature trees all garden areas will be mass planted with understorey planting and groundcovers. At the frontage mass Iris is proposed as a clumping groundcover under the Ivory Curl trees with contrasting white and purple flowers which will enhance the sense of entry and arrival. Low stone walls are proposed using dry jointed basalt feature stone and signage further reinforcing the sense of entry and timber fence posts defining the property line and reimagining the post and rail timber front fence and sculpted mounded landforms.

To flank the sides of the buildings mass Matt Rush (*Lomandra* spp) is proposed to filter run off through broad open swales. Along the rear of the property Native Ginger and dwarf Philodendron is proposed (*Alpinea purpurea* and *Philodendron Xanadu*) planted over the relocated sewer line. All mass planted areas will have imported topsoil and organic mulch.

Retain Existing Trees where Possible

There are no existing trees on site, however the site borrows from adjoining landscape treatments opposite and in adjoining properties and in doing so complements the streetscape with the proposed planting.

Materials and Planting Palette



Section A - East Elevation
 SCALE
 1:200@A3

Conclusion

The design will create a welcoming and visually appealing setting for the medical suites that complements the existing residential area and creates an appropriate response in scale with the setting. The design softens and frames views in and out of the site and provides a place with attractive views out through attractive landscape spaces to the surrounding area.



Section B - Streetscape Elevation
 SCALE
 1:200@A3

8LA